

DOWNTOWN ALBUQUERQUE BUSINESS IMPROVEMENT DISTRICT

QUICK FACTS

WHAT IS A BID?

A Business Improvement District (BID) is a private sector initiative governed by rate payers and designed to improve the environment of a business district with new services financed by a self-imposed assessment. These services (such as enhanced safety, maintenance, and marketing) are provided exclusively within the district, and are supplemental to—rather than a replacement of—those already provided by the City. They work in a similar way to common area maintenance (CAM) agreements in shopping malls and office parks.

ARE BID'S COMMON?

Yes, BIDs are a common tool. There are over 2,500 BIDs across North America, many concentrated in downtown areas. Albuquerque is one of the largest U.S. cities without a BID, which puts it at a competitive disadvantage in providing enhanced services downtown.

WHO DECIDES TO CREATE A BID?

Property Owners. The BID is self-imposed by property owners and requires a petition process to be formed. Petition support is required from at least 51% of property owners. If there is sufficient support through the petition process, a public hearing will be held by City Council to establish the BID through ordinance.

IF A BID IS CREATED, WHO IS IN CHARGE?

The BID will be governed by a BID Board made up of property owners representing a wide variety of geographic subdistricts and use-types within Downtown.

WILL THE BID LAST FOREVER ONCE CREATED?

No, the BID will have an initial term of 5 years. To extend the BID beyond the initial 5-year term, a new petition process will need to be undertaken to affirm support for the district. Once in place, BIDs tend to have strong support from downtown property owners – the BID renewal rate nationally is 99%.

WHAT SERVICES WILL THE PROPOSED BID DELIVER?

The BID will enhance services and support improvements as determined through an annual plan approved by the BID board of directors. Initial services will fit within the following categories, with the general goal of improving the safety, cleanliness, and overall appearance of Downtown Albuquerque. This program is designed to change perceptions and increase business to our city center.

Safe & Clean Services	\$1,250,000
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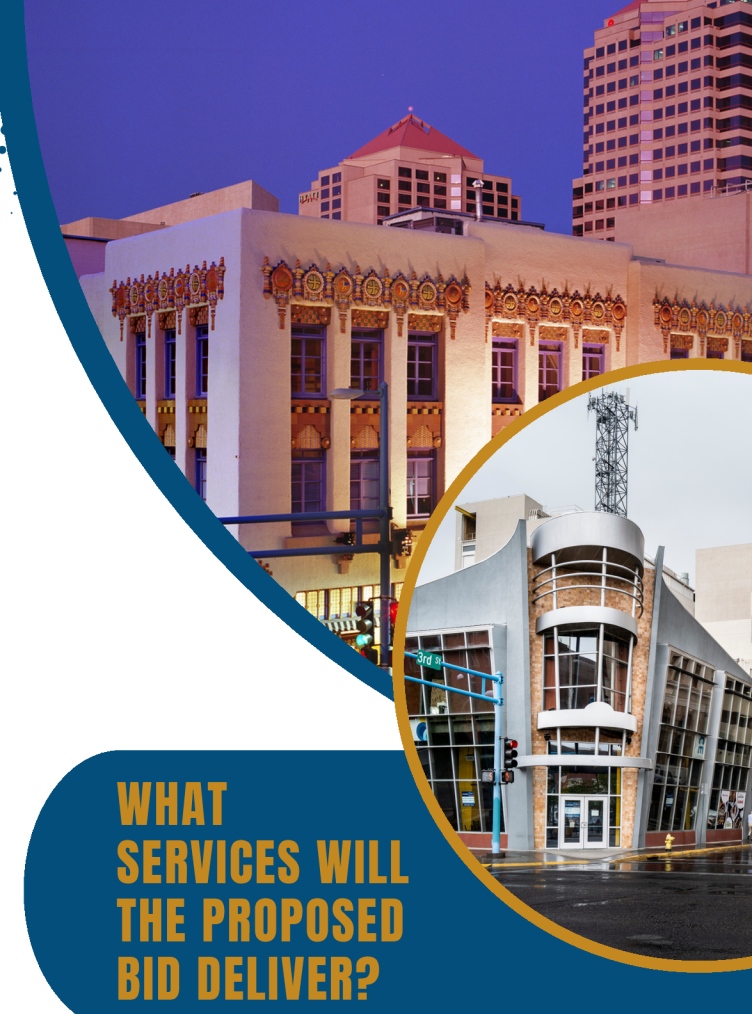
Marketing & Special Projects	\$200,000
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Management & Advocacy	\$250,000
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TOTAL ESTIMATED BUDGET	\$1,700,000
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**READ THE DRAFT
FRAMEWORK
PLAN, OR
CONTACT THE BID
PROponents:**

SCAN HERE



ADDITIONAL DETAILS

TELL ME MORE ABOUT THESE SERVICES.

Safe and Clean Services will be the primary focus of the BID, including:

- A new hospitality and safety ambassador program that can offer information, assistance, and safety escorts to downtown visitors, workers, and residents; outreach and connection to local service providers for downtown's unsheltered population; and management of quality-of-life issues
- Enhanced maintenance—almost three times the size of the existing program—such as comprehensive sidewalk sweeping, scrubbing, and power washing, litter removal, and landscaping maintenance
- Marketing & Special Projects will give the BID flexibility with a portion of its funds to respond to current needs in downtown.

WILL THE CITY REDUCE ITS EXISTING SERVICES DOWNTOWN IF WE CREATE A BID?

No, the City of Albuquerque has documented and committed to maintaining its base level of pre-BID services. The BID will not replace any pre-existing general City services, but instead will provide an enhanced level of services to better meet current demands and expectations of business and property owners.

CURRENT PROPONENTS ALREADY INVOLVED:

Argus 500 Marquette, LLC	Theatre Block, LLC	225 Gold, LLC
Scott Throckmorton	HDIC Gold Avenue, LLC	Jesus "Zeus" Zamora
Villa Agave Apartments	David Silverman	Sister Bar
505 Central, LLC	Adam Silverman	Joe Farr, CCIM, MLAI
Baker Architecture + Design	201 Coal, LLC	Duke City Commercial, LLC
Moonwalk Brewing + Distilling	701 Central, LLC	Neal Greenbaum
505 Central Food Hall	UR 205 Silver Retail, LLC	David Keleher
Mark Baker	Todd Clarke	618 Gold, LLC
Man's Hat Shop	Casitas Clarke	600 Copper, LLC
Guadalupe Institute, LLC	Jake Ralphs	Two Hundred Central, LLC
Jerry Mosher	Echoes, LLC	
Dale Armstrong	Thomas Keleher	

WHAT ABOUT GOVERNMENT. WILL THE CITY AND COUNTY PAY?

Yes, the City of Albuquerque and Bernalillo County have agreed to pay their fair share of assessments for properties located within the BID boundaries that would otherwise be exempt. Additionally, the City will continue providing financial support for safe and clean services, as it has for the past ten years, through the duration of the five-year term of the BID. Adjusted for inflation, this annual contribution amounts to \$405,000.

SOUNDS NICE. BUT WHAT WILL IT COST ME AS A PROPERTY OWNER?

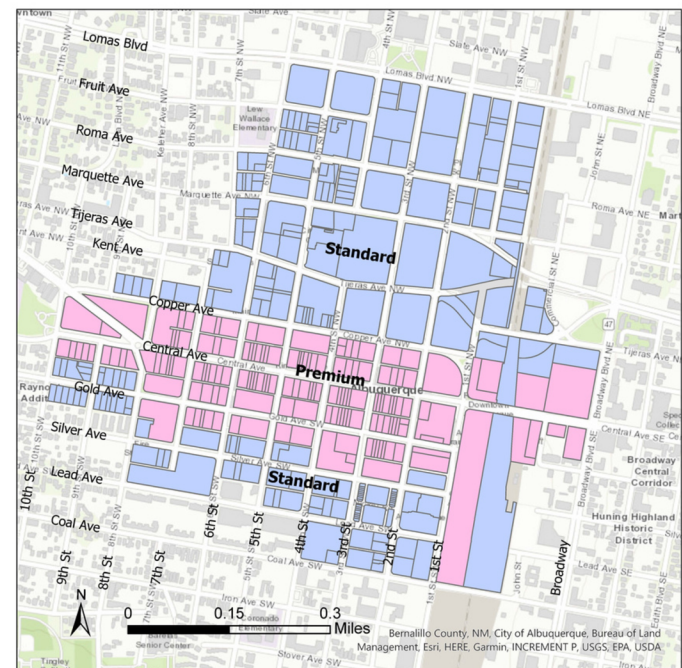
It depends on the size and location of your property. The chart below shows rates for two service zones: Standard and Premium. Rates are commensurate with the level of services your property will see. Properties within the Premium zone will receive approximately double the safe and clean services than those in the Standard zone. All properties will benefit from the same level of marketing and special projects programming annually.

SERVICE ZONE	LOT + BUILDING SQ. FT.
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Premium	\$0.132 per sq. ft.
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Standard	\$0.082 per sq. ft.
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PROPOSED BOUNDARIES AND ZONES:



abqdowntownbid@gmail.com